

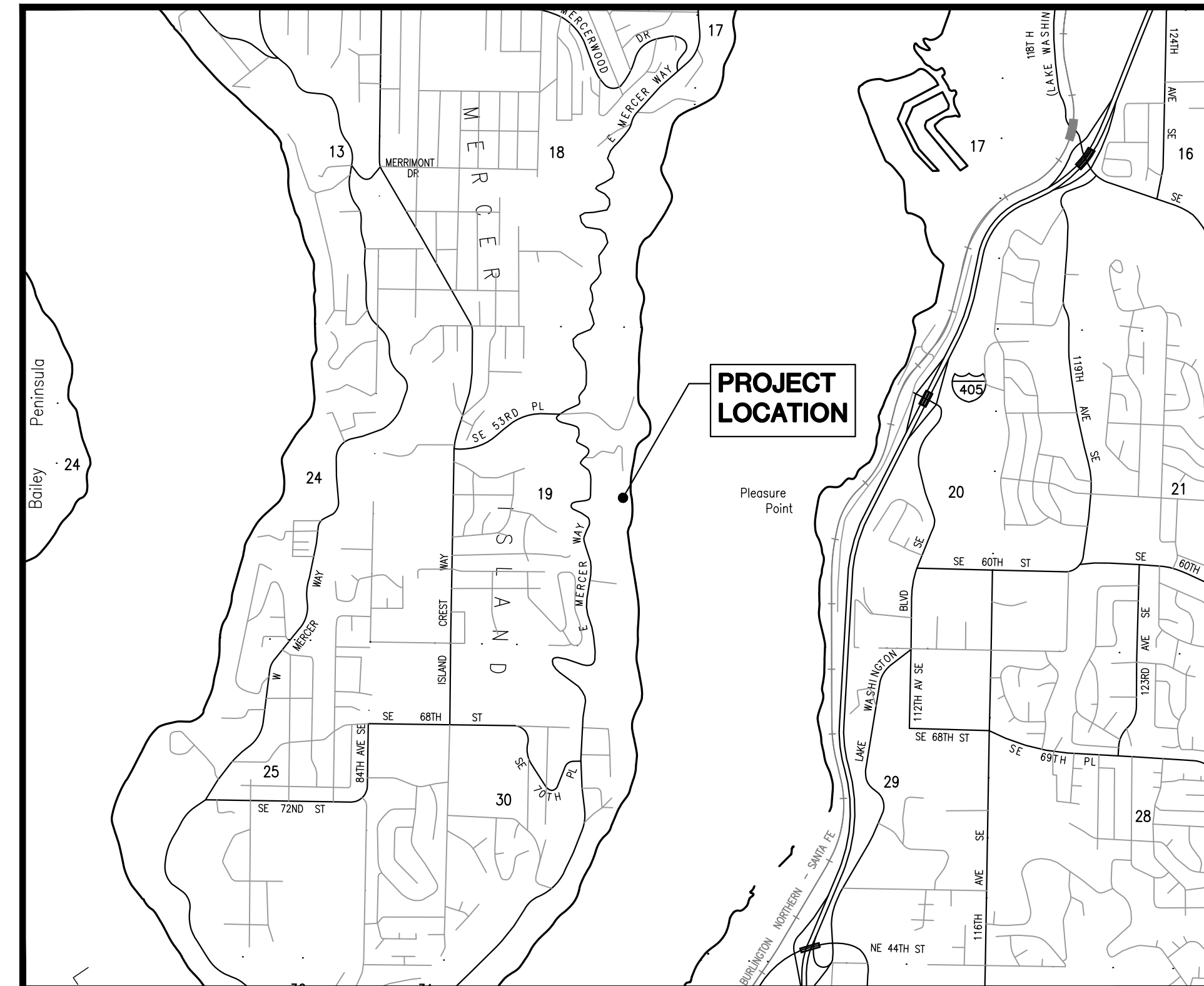
# LR RESIDENCE

## 5460 EAST MERCER WAY, MERCER ISLAND WA 98040

### OCTOBER 17, 2017

**LEGAL DESCRIPTION**

POR GLS 2 & 3 LY ELY OF E MERCER WAY & BET LNS RESPECT 2575 & 2700 FT N OF S LN OF SEC LESS POR WLY OF LN RNG S 12-42-49 E FR PT ON N LN THOP 403.13 FT E OF C/L OF E MERCER WAY LESS N 25 FT TGW 2ND CL SH LDS ADJ



VICINITY MAP  
NTS

**SHEET INDEX**

NO.	DESCRIPTION
CO.01	TITLE SHEET
C1.00	SITE PREP & TESC PLAN
C1.01	SITE PREP & TESC DETAILS
C2.00	STORMWATER CONTROL PLAN
C2.01	STORMWATER CONTROL DETAILS

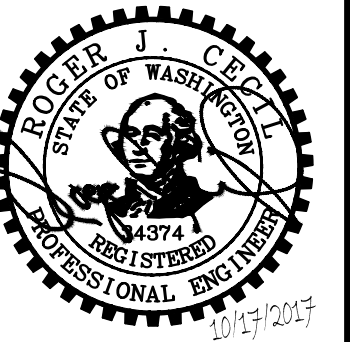
APPLICANT:  
LALILU MERCER ISLAND LLC  
5460 EAST MERCER WAY  
MERCER ISLAND, WA 98040

ENGINEER:  
CECIL & ASSOCIATES, LLC  
19535 97TH AVE NE  
BOTHELL, WA 98011  
ROGER CECIL, P.E.  
(206) 484-3495

ARCHITECT:  
BABIENKO ARCHITECTS PLLC  
815 SEATTLE BLVD S., STUDIO 206  
SEATTLE WA, 98134  
WHITNEY MADISON  
(206) 223-7663

REVISIONS	No.	Description	Date
PERMIT SUBMITTAL	2		10/17/17
PERMIT SUBMITTAL	1		8/25/17

169-001-17	Project No.	VS	Drawn By	RJC	Designed By	RJC	Approved By	10/17/2017	Date
------------	-------------	----	----------	-----	-------------	-----	-------------	------------	------



**CECIL ASSOCIATES**  
PO BOX 598 BOTHELL, WA 98011  
(206) 484-3495  
www.cecilrassoc.com

CLIENT:  
BABIENKO ARCHITECTS, PLLC  
815 SEATTLE BLVD S, STUDIO 206  
SEATTLE, WA 98134

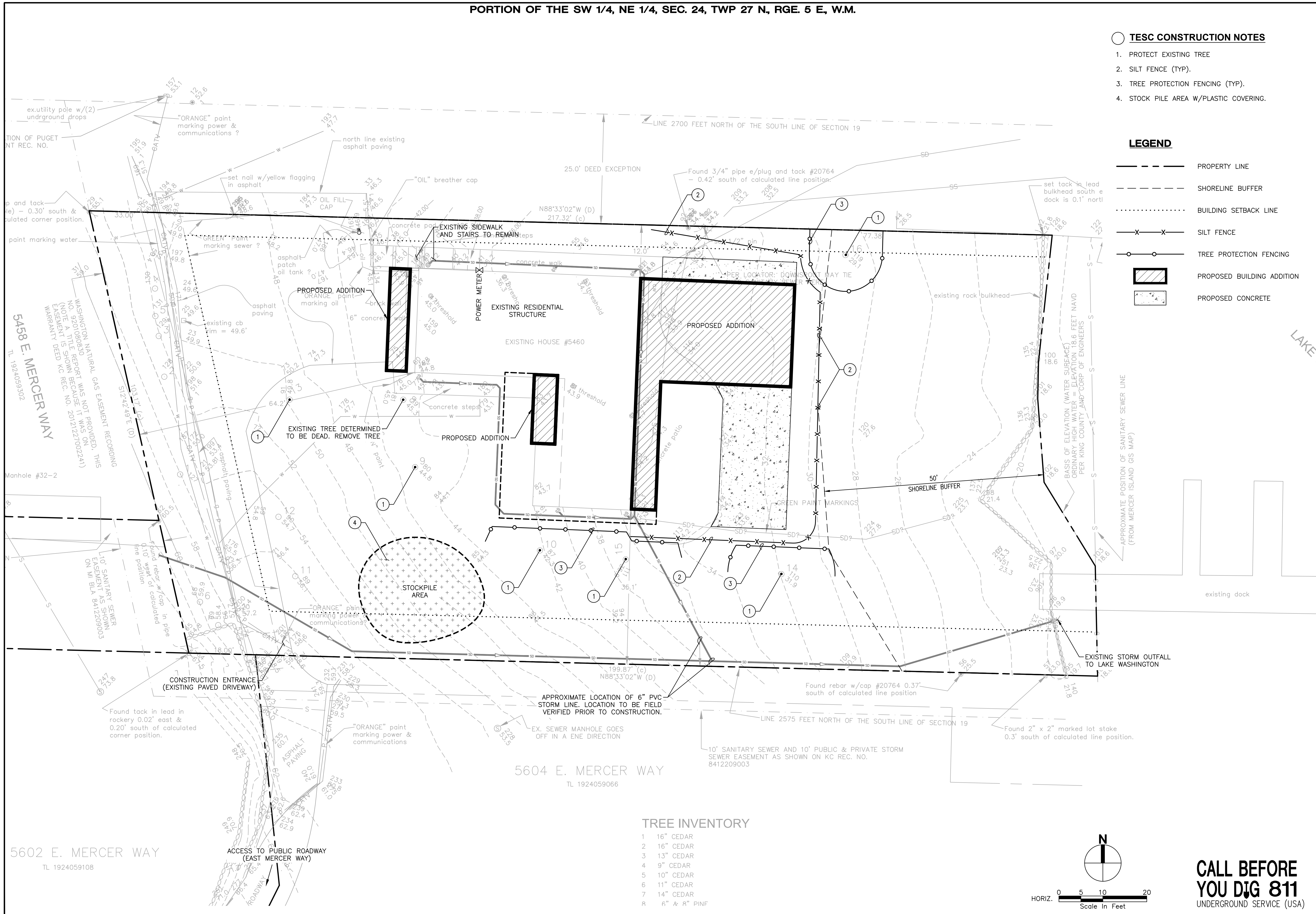
WHITNEY MADISON  
CONTACT

LR RESIDENCE  
TITLE SHEET

CO.01

CALL BEFORE  
YOU DIG 811  
UNDERGROUND SERVICE (USA)

PORTION OF THE SW 1/4, NE 1/4, SEC. 24, TWP 27 N, RGE. 5 E, W.M.



TESC CONSTRUCTION NOTES

1. PROTECT EXISTING TREE
2. SILT FENCE (TYP).
3. TREE PROTECTION FENCING (TYP).
4. STOCK PILE AREA W/PLASTIC COVERING.

LEGEND

- — — — — PROPERTY LINE
- - - - - SHORELINE BUFFER
- ..... BUILDING SETBACK LINE
- X X X X X SILT FENCE
- ○ ○ ○ ○ TREE PROTECTION FENCING
- ▨ PROPOSED BUILDING ADDITION
- ▩ PROPOSED CONCRETE

REVISIONS	No.	Description	Date

169-001-17  
Project No.  
VS  
Drawn By  
RJC  
Designed By  
RJC  
Approved By  
10/17/2017  
Date

**CECIL ASSOCIATES**  
PO BOX 598 BOTHELL, WA 98011  
(206) 484-3495  
www.cecilassoc.com

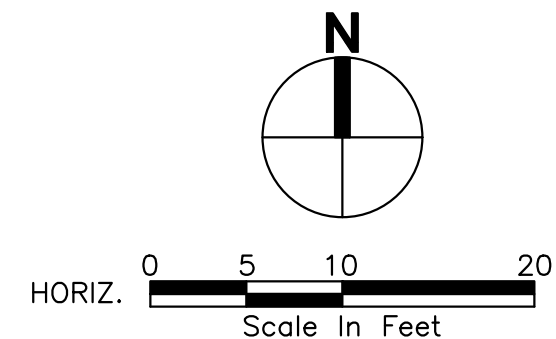
CLIENT  
BARBENKO ARCHITECTS, PLLC  
86 SEATTLE BLVD S, STUDIO 206  
SEATTLE, WA 98144

WHITNEY MADISON  
CONTACT

LR RESIDENCE  
SITE PREP/TESC PLAN  
C1.00

TREE INVENTORY

- 1 16" CEDAR
- 2 16" CEDAR
- 3 13" CEDAR
- 4 9" CEDAR
- 5 10" CEDAR
- 6 11" CEDAR
- 7 14" CEDAR
- 8 6" & 8" PINF



CALL BEFORE YOU DIG 811  
UNDERGROUND SERVICE (USA)

5458 E. MERCER WAY  
TL 1924059302

WASHINGTON NATURAL GAS EASEMENT RECORDING  
NO. 9201080830  
(NOTE: A TITLE REPORT WAS NOT PROVIDED. THIS EASEMENT IS SHOWN BECAUSE IT WAS ON A WARRANTY DEED KC REC. NO. 20121227002241)

5602 E. MERCER WAY  
TL 1924059108

5604 E. MERCER WAY  
TL 1924059066

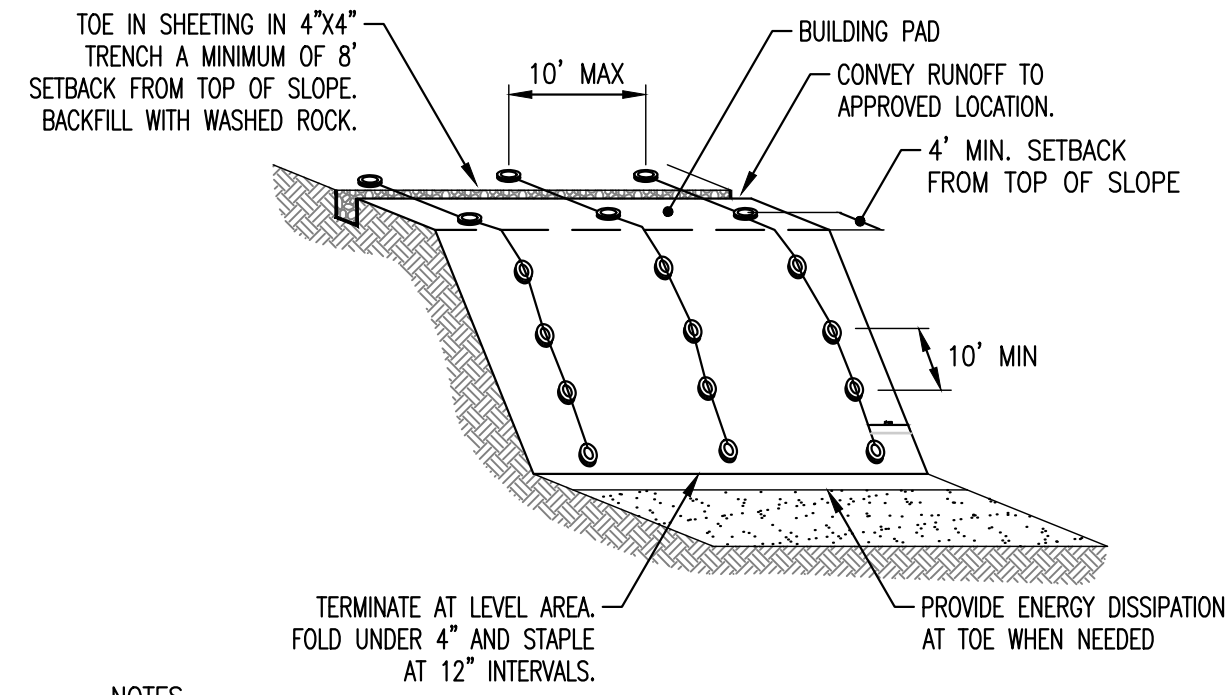
PORTION OF THE SW 1/4, NE 1/4, SEC. 24, TWP 27 N, RGE. 5 E., W.M.

**EROSION CONTROL NOTES**

- APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, IF REQUIRED, PRIOR TO CONSTRUCTION (SWDM APPENDIX D). DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
- EXISTING DRIVEWAYS WILL BE USED FOR CONSTRUCTION ACCESS. CONTRACTOR SHALL PROTECT EXISTING PAVED AREAS FROM DAMAGE. ANY DAMAGE TO PAVED AREAS SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE. CONTRACTOR SHALL SWEEP PAVED AREAS REGULARLY TO PREVENT TRACKING OF DIRT OR MUD OFF SITE AND ONTO PUBLIC ROADS.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, AND ADJACENT PROPERTIES IS MINIMIZED.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL COVER MEASURES, ADDITIONAL SUMP PUMPS, RELOCATION OF DITCHES AND SILT FENCES, PERIMETER PROTECTION ETC.).
- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES.
- ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC COVER METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
- ANY AREA NEEDING ESC MEASURES, NOT REQUIRING IMMEDIATE ATTENTION, SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 24 HOURS FOLLOWING A STORM EVENT.
- AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE PERMANENT FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY.
- COVER MEASURES WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D OF THE SURFACE WATER DESIGN MANUAL.
- PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONE CAN BE SEED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEED AND THOSE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE DDES INSPECTOR FOR REVIEW.
- PERMANENT RESTORATION OF ALL DISTURBED AREAS SHALL BE COMPLETED PRIOR TO PROJECT APPROVAL.

**STANDARD CONSTRUCTION SEQUENCE**

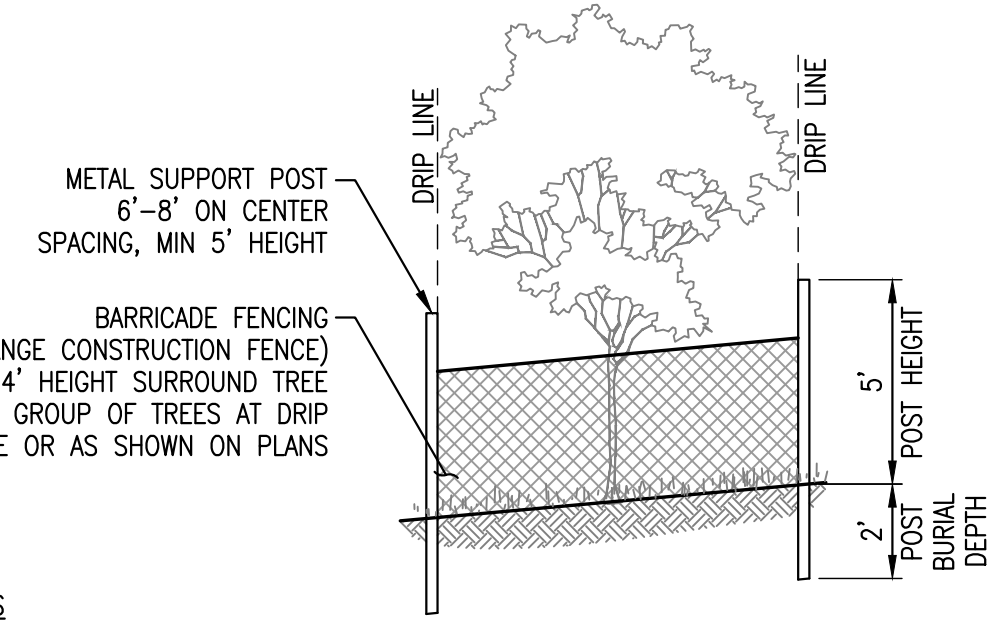
- PRE-CONSTRUCTION MEETING.
- POST SIGN WITH NAME AND PHONE NUMBER OF ESC SUPERVISOR (MAY BE CONSOLIDATED WITH THE REQUIRED NOTICE OF CONSTRUCTION SIGN).
- FLAG OR FENCE CLEARING LIMITS.
- INSTALL CATCH BASIN PROTECTION IF REQUIRED.
- INSTALL PERIMETER PROTECTION (SILT FENCE, BRUSH BARRIER, ETC.).
- STABILIZE CONSTRUCTION ROADS.
- CONSTRUCT SURFACE WATER CONTROLS (INTERCEPTOR DIKES, PIPE SLOPE DRAINS, ETC.) SIMULTANEOUSLY WITH CLEARING AND GRADING FOR PROJECT DEVELOPMENT.
- MAINTAIN EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF MERCER ISLAND STANDARDS AND MANUFACTURER'S RECOMMENDATIONS.
- RELOCATE EROSION CONTROL MEASURES OR INSTALL NEW MEASURES SO THAT AS SITE CONDITIONS CHANGE THE EROSION AND SEDIMENT CONTROL IS ALWAYS IN ACCORDANCE WITH THE CITY OF MERCER ISLAND EROSION AND SEDIMENT CONTROL STANDARDS.
- COVER ALL AREAS THAT WILL BE UNWORKED FOR MORE THAN SEVEN DAYS DURING THE DRY SEASON OR TWO DAYS DURING THE WET SEASON WITH STRAW, WOOD FIBER MULCH, COMPOST, PLASTIC SHEETING OR EQUIVALENT.
- STABILIZE ALL AREAS THAT REACH FINAL GRADE WITHIN SEVEN DAYS.
- SEED OR SOD ANY AREAS TO REMAIN UNWORKED FOR MORE THAN 30 DAYS.
- UPON COMPLETION OF THE PROJECT, ALL DISTURBED AREAS MUST BE STABILIZED AND BMPS REMOVED IF APPROPRIATE.



**NOTES**

- TIRES, SANDBAGS, OR EQUIVALENT MAY BE USED TO WEIGHT SHEETING.
- SEAMS BETWEEN SHEETS MUST OVERLAP A MINIMUM OF 12" AND BE WEIGHTED OR TAPED.
- PLASTIC SHEETING SHALL HAVE A MINIMUM THICKNESS OF 6 MIL.
- DUE TO RAPID RUNOFF CAUSED BY PLASTIC SHEETING, THIS METHOD SHALL NOT BE USED UPSLOPE OF AREAS THAT MIGHT BE ADVERSELY IMPACTED BY CONCENTRATED RUNOFF.
- IF EROSION AT THE TOE OF SLOPE IS LIKELY, A GRAVEL BERM, RIP-RAP, OR OTHER SUITABLE PROTECTION SHALL BE INSTALLED AT THE TOE OF SLOPE IN ORDER TO REDUCE THE VELOCITY OF RUNOFF.

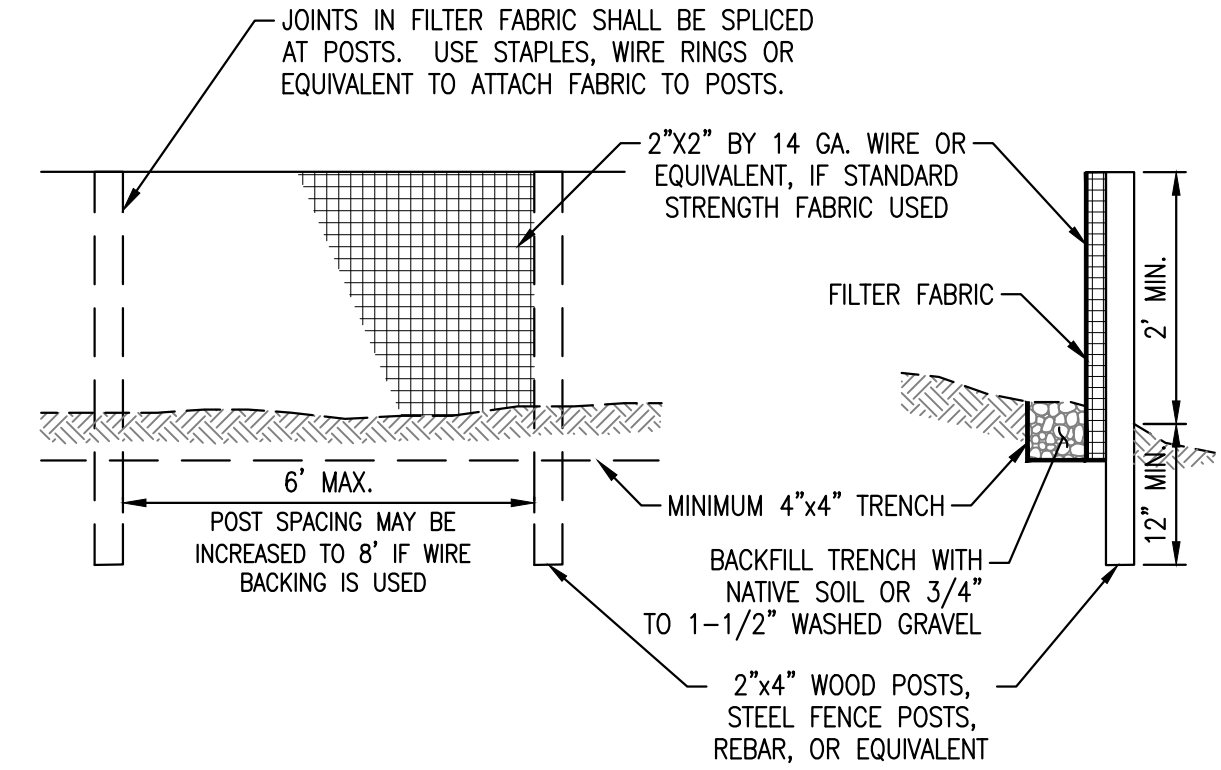
1 PLASTIC SHEETING SLOPE PROTECTION DETAIL  
N.T.S.



**NOTES**

- A 4 FOOT HIGH TEMPORARY FENCE MUST BE PLACED AT THE DRIP LINE OF TREES PRIOR TO THE COMMENCEMENT OF CLEARING OR EARTHWORK. NOTIFY THE CLEARING AND GRADING INSPECTOR TO GET BOTH THE INSPECTION AND WRITTEN APPROVAL OF FLAGGED TREES AND TEMPORARY PROTECTION FENCING AROUND TREES TO BE SAVED PER THE APPROVED CLEARING AND GRADING PLAN.
- NO STOCKPILING OF MATERIAL AND NO VEHICULAR TRAFFIC ARE ALLOWED WITHIN THE LIMITS OF THE TEMPORARY FENCING. FILLING, EXCAVATION, AND CLEARING MUST BE ACCOMPLISHED BY HAND METHODS ONLY.
- ROOTS OF TREES TO BE SAVED WHICH ARE DAMAGED DURING CONSTRUCTION MUST BE TREATED IN THE FOLLOWING WAY: FOR DAMAGED ROOTS OVER 1" IN DIAMETER, MAKE A CLEAN, STRAIGHT CUT TO REMOVE THE DAMAGED PORTION OF THE ROOT ALL EXPOSED ROOTS WILL BE TEMPORARILY COVERED WITH DAMP BURLAP OR WOOD SHAVINGS TO PREVENT DRYING AND COVERED WITH EARTH AS SOON AS POSSIBLE.
- SEE SHEET C1.00 FOR LOCATION OF EXISTING TREES TO RECEIVE TEMPORARY FENCING.
- SEE SPECIFICATIONS FOR PRUNING, WATERING AND OTHER MAINTENANCE REQUIREMENTS

2 TREE PROTECTION FENCING DETAIL  
N.T.S.



**NOTE:**

FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOURS WHENEVER POSSIBLE

3 SILT FENCE DETAIL  
N.T.S.

**WET SEASON NOTES**

SITE GRADING IN THE WET SEASON (OCT 1 – APRIL 1) IS RESTRICTED IN ACCORDANCE WITH SECTION 19.07.060.4 OF THE CITY OF MERCER ISLAND MUNICIPAL CODE. NO GRADING ACTIVITIES SHALL OCCUR DURING THE WET SEASON WITHOUT THE ISSUANCE OF A SEASONAL DEVELOPMENT LIMITATION WAIVER.

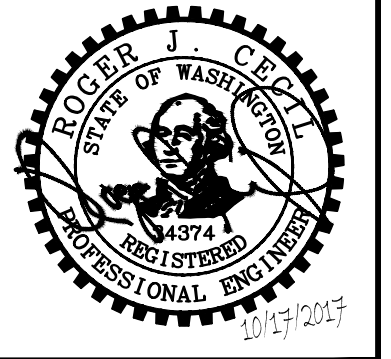
CONSTRUCTION SITES MAY BE CLOSED FOR THE DURATION OF THE WET SEASON BY THE CITY OF MERCER ISLAND IF ON-SITE TESC IS FOUND TO BE INADEQUATE. IF SITE WORK MUST BE SUSPENDED, THE FOLLOWING MEASURES SHALL BE IMPLEMENTED:

- HOLES OR EXCAVATION MUST BE FILLED IN
- ALL STOCKPILES MUST BE COVERED
- ALL DISTURBED AREAS MUST BE COVERED WITH 4" OF STRAW
- ALL SILT FENCE MUST BE INSPECTED TO ENSURE NO BREAKS OR GAPS IN FENCE.

SITE DISTURBANCE TO BE AVOIDED WITHIN THE SHORELINE BUFFER (50') OF LAKE WASHINGTON, ACCEPT WHAT IS REQUIRED FOR SILT FENCING AND TREE PROTECTION FENCING

REVISIONS	No.	Description	Date
	1	PERMIT SUBMITTAL	10/17/17
	2	PERMIT SUBMITTAL	8/25/17

169-001-17	Project No.	V/S	Drawn By	RJC	Designed By	RJC	Approved By	10/17/2017	Date
------------	-------------	-----	----------	-----	-------------	-----	-------------	------------	------



**CECIL ASSOCIATES**  
 PO BOX 598 BOTHELL, WA 98011  
 (206) 484-3495  
 www.cecilrassoc.com

CLIENT: BABENKO ARCHITECTS, PLLC  
 86 SEATTLE BLVD S, STUDIO 206  
 SEATTLE, WA 98194

WHITNEY MADISON  
 CONTACT

LR RESIDENCE

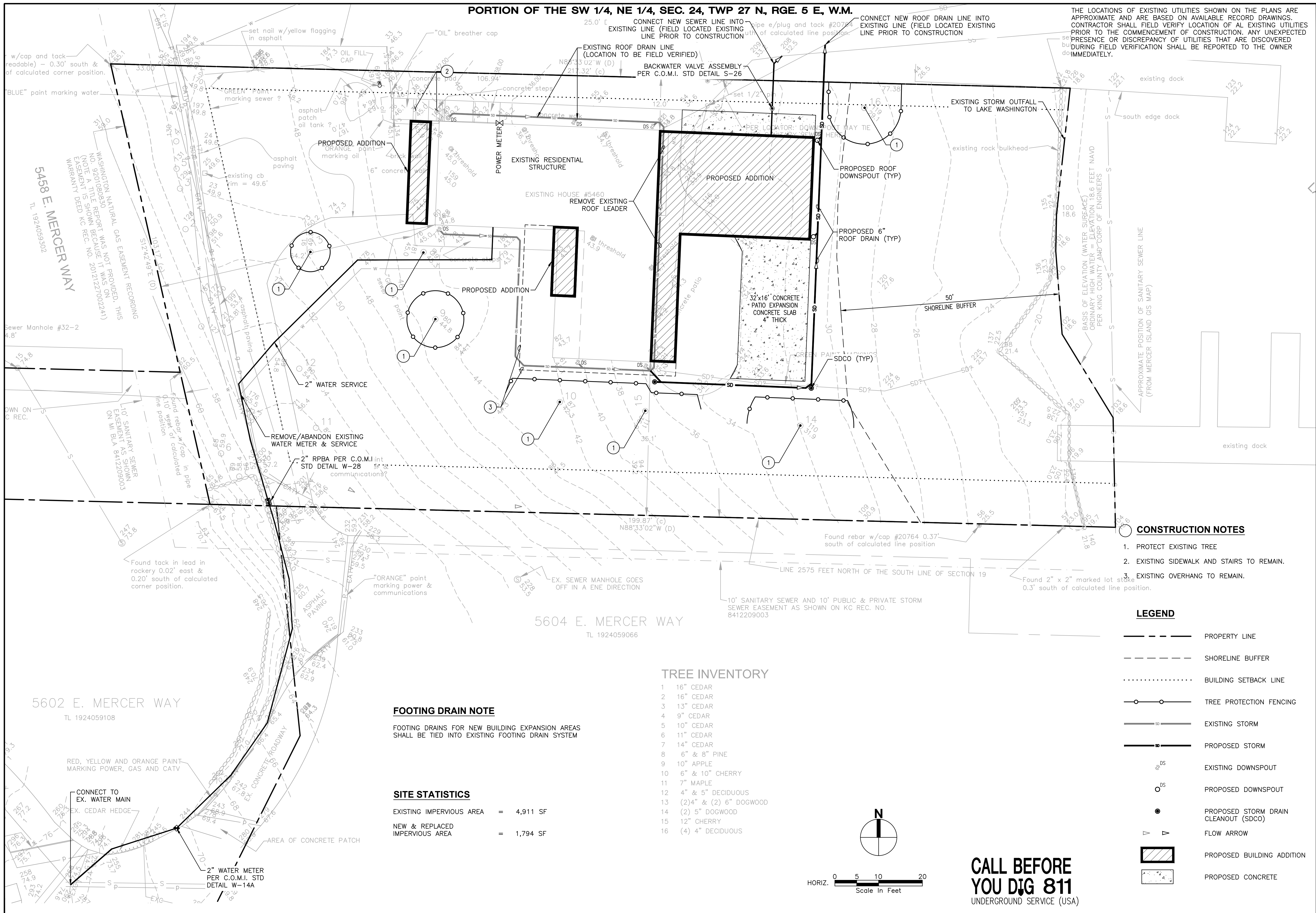
TESC NOTES & DETAILS

C1.01

CALL BEFORE YOU DIG 811  
 UNDERGROUND SERVICE (USA)



PORTION OF THE SW 1/4, NE 1/4, SEC. 24, TWP 27 N, RGE 5 E, W.M.



**CONSTRUCTION NOTES**

1. PROTECT EXISTING TREE
2. EXISTING SIDEWALK AND STAIRS TO REMAIN.
3. EXISTING OVERHANG TO REMAIN.

**LEGEND**

- — — — — PROPERTY LINE
- - - - - SHORELINE BUFFER
- ..... BUILDING SETBACK LINE
- — ○ TREE PROTECTION FENCING
- — — — — EXISTING STORM
- — — — — PROPOSED STORM
- ⊙<sub>DS</sub> EXISTING DOWNSPOUT
- <sub>DS</sub> PROPOSED DOWNSPOUT
- PROPOSED STORM DRAIN CLEANOUT (SDCO)
- ▽ FLOW ARROW
- ▨ PROPOSED BUILDING ADDITION
- ▨ PROPOSED CONCRETE

**FOOTING DRAIN NOTE**

FOOTING DRAINS FOR NEW BUILDING EXPANSION AREAS SHALL BE TIED INTO EXISTING FOOTING DRAIN SYSTEM

**SITE STATISTICS**

EXISTING IMPERVIOUS AREA = 4,911 SF  
 NEW & REPLACED IMPERVIOUS AREA = 1,794 SF

**TREE INVENTORY**

- 1 16" CEDAR
- 2 16" CEDAR
- 3 13" CEDAR
- 4 9" CEDAR
- 5 10" CEDAR
- 6 11" CEDAR
- 7 14" CEDAR
- 8 6" & 8" PINE
- 9 10" APPLE
- 10 6" & 10" CHERRY
- 11 7" MAPLE
- 12 4" & 5" DECIDUOUS
- 13 (2)4" & (2) 6" DOGWOOD
- 14 (2) 5" DOGWOOD
- 15 12" CHERRY
- 16 (4) 4" DECIDUOUS

<p><b>CECIL ASSOCIATES</b>                  PO BOX 598 BOTHELL, WA 98011                  (206) 484-3495                  www.cecilrassoc.com</p>	<p><b>CLIENT</b>                  BABENKO ARCHITECTS, PLLC                  86 SEATTLE BLVD S, STUDIO 206                  SEATTLE, WA 98144</p>									
<p><b>PROJECT No.</b>                  159-001-17</p> <p><b>Drawn By</b>                  V/S</p> <p><b>Designed By</b>                  RJC</p> <p><b>Approved By</b>                  RJC</p> <p><b>Date</b>                  10/17/2017</p>	<p><b>REVISIONS</b></p> <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>PERMIT SUBMITTAL</td> <td>8/25/17</td> </tr> <tr> <td>2</td> <td>PERMIT SUBMITTAL</td> <td>10/17/17</td> </tr> </tbody> </table>	No.	Description	Date	1	PERMIT SUBMITTAL	8/25/17	2	PERMIT SUBMITTAL	10/17/17
No.	Description	Date								
1	PERMIT SUBMITTAL	8/25/17								
2	PERMIT SUBMITTAL	10/17/17								
<p><b>LR RESIDENCE STORMWATER CONTROL PLAN</b></p>										
<p><b>C2.00</b></p>										

**CALL BEFORE YOU DIG 811**  
 UNDERGROUND SERVICE (USA)

**STANDARD GENERAL NOTES**

- ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMIT CONDITIONS, MERCER ISLAND MUNICIPAL CODE, MERCER ISLAND DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AND THE CONDITIONS OF THE PERMIT. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE CITY OF MERCER ISLAND.
- THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THE MERCER ISLAND DEPARTMENT OF PUBLIC WORKS AND DEVELOPMENT SERVICES ENGINEERING REVIEW CHECKLIST. SOME ELEMENTS MAY HAVE BEEN OVERLOOKED OR MISSED BY THE CITY PLAN REVIEWER. ANY VARIANCE FROM ADOPTED STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF MERCER ISLAND PRIOR TO CONSTRUCTION.
- APPROVAL OF THESE PLANS DOES NOT CONSTITUTE AN APPROVAL OF ANY OTHER CONSTRUCTION (E.G. DOMESTIC WATER CONVEYANCE, SEWER CONVEYANCE, GAS, ELECTRICAL, ETC.)
- BEFORE ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY, A PRECONSTRUCTION MEETING MUST BE HELD BETWEEN THE DPER'S DEVELOPMENT INSPECTOR, THE APPLICANT, AND THE APPLICANT'S CONSTRUCTION REPRESENTATIVE.
- A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- GRADING ACTIVITIES (SITE ALTERATION) ARE LIMITED TO THE HOURS OF 7 A.M. TO 7 P.M. MONDAY THROUGH SATURDAY AND 10 A.M. TO 5 P.M. ON SUNDAY, UNLESS OTHERWISE APPROVED WITH A WRITTEN DECISION BY THE REVIEWING AGENCY.
- IT SHALL BE THE APPLICANT'S/CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL CONSTRUCTION EASEMENTS NECESSARY BEFORE INITIATING OFF-SITE WORK. EASEMENTS REQUIRE REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- FRANCHISED UTILITIES OR OTHER INSTALLATIONS THAT ARE NOT SHOWN ON THESE APPROVED PLANS SHALL NOT BE CONSTRUCTED UNLESS AN APPROVED SET OF PLANS THAT MEET ALL REQUIREMENTS OF THE CITY OF MERCER ISLAND CHAPTER 8 ARE SUBMITTED TO THE CITY DEVELOPMENT INSPECTOR THREE DAYS PRIOR TO CONSTRUCTION.
- DATUM SHALL BE NAVD88 UNLESS OTHERWISE APPROVED BY DPER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL APPLY. WORK IN RIGHT-OF-WAY IS NOT AUTHORIZED UNTIL A TRAFFIC CONTROL PLAN IS APPROVED BY THE CITY OF MERCER ISLAND.

**WET SEASON NOTES**

SITE GRADING IN THE WET SEASON (OCT 1 – APRIL 1) IS RESTRICTED IN ACCORDANCE WITH SECTION 19.07.060.4 OF THE CITY OF MERCER ISLAND MUNICIPAL CODE. NO GRADING ACTIVITIES SHALL OCCUR DURING THE WET SEASON WITHOUT THE ISSUANCE OF A SEASONAL DEVELOPMENT LIMITATION WAIVER.

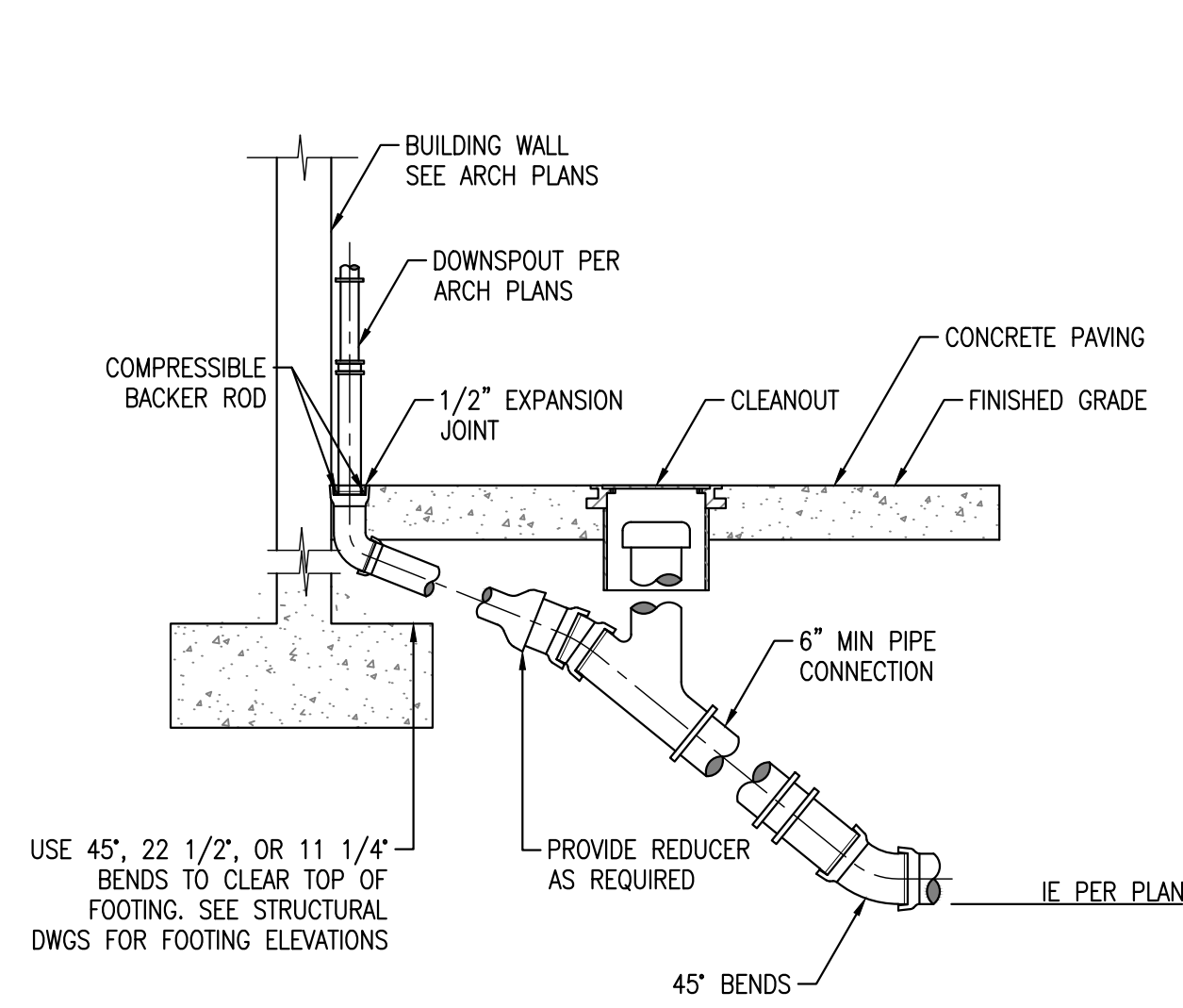
CONSTRUCTION SITES MAY BE CLOSED FOR THE DURATION OF THE WET SEASON BY THE CITY OF MERCER ISLAND IF ON-SITE TESC IS FOUND TO BE INADEQUATE. IF SITE WORK MUST BE SUSPENDED, THE FOLLOWING MEASURES SHALL BE IMPLEMENTED:

- HOLES OR EXCAVATION MUST BE FILLED IN
- ALL STOCKPILES MUST BE COVERED
- ALL DISTURBED AREAS MUST BE COVERED WITH 4" OF STRAW
- ALL SILT FENCE MUST BE INSPECTED TO ENSURE NO BREAKS OR GAPS IN FENCE.

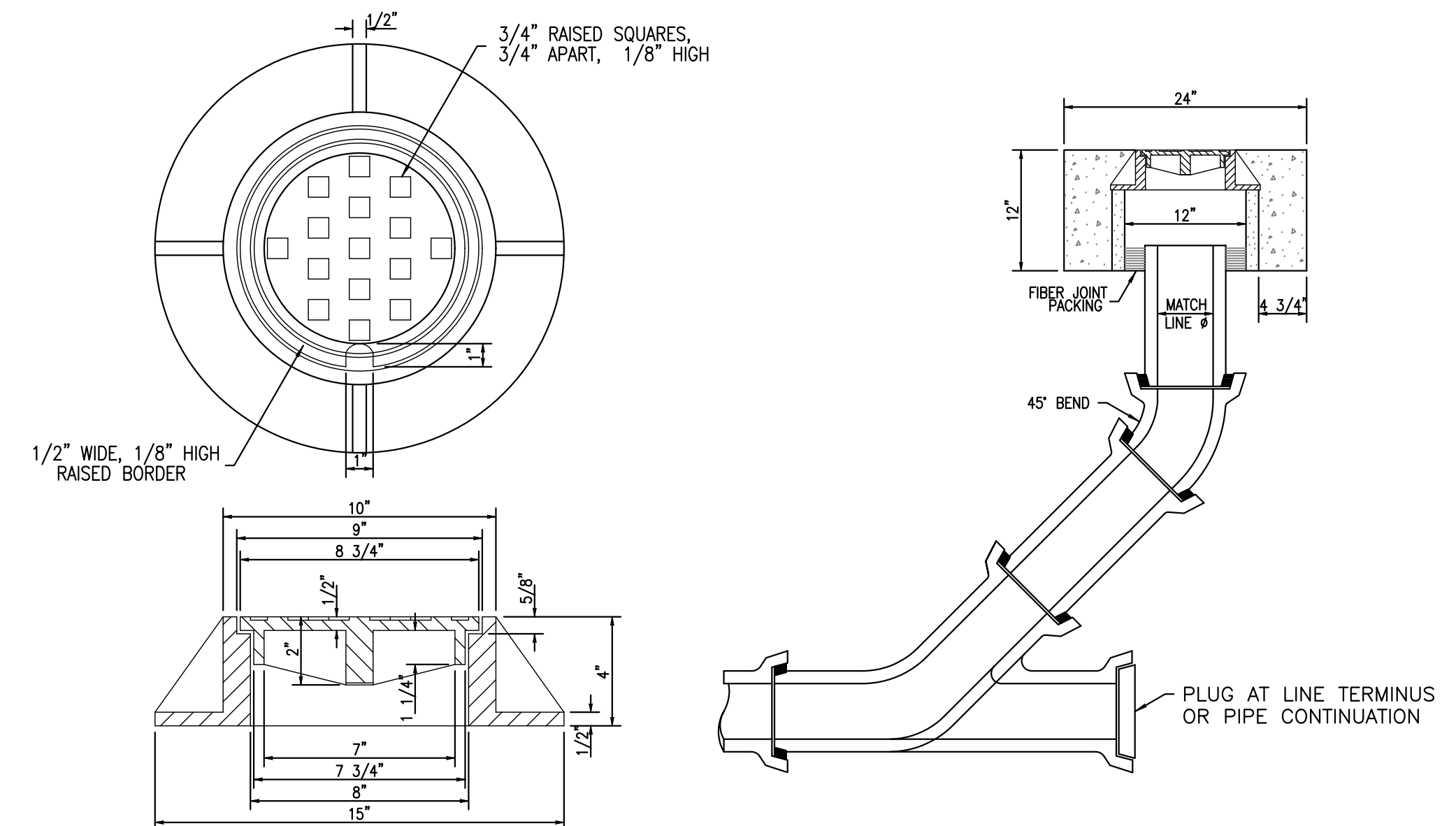
SITE DISTURBANCE TO BE AVOIDED WITHIN THE SHORELINE BUFFER (50') OF LAKE WASHINGTON, ACCEPT WHAT IS REQUIRED FOR SILT FENCING AND TREE PROTECTION FENCING

**STANDARD DRAINAGE NOTES**

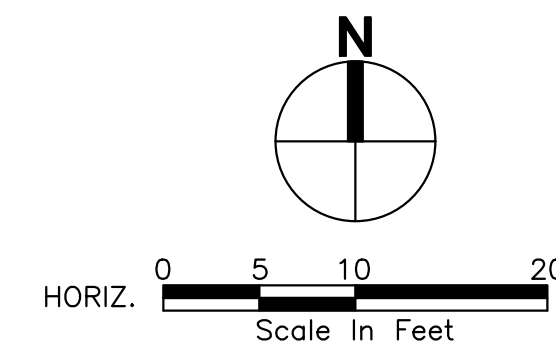
- PROOF OF LIABILITY INSURANCE SHALL BE SUBMITTED TO THE CITY PRIOR TO THE CONSTRUCTION OF THE DRAINAGE FACILITIES, PREFERABLY AT THE PRECONSTRUCTION MEETING.
- ALL PIPE AND APPURTENANCES SHALL BE LAID ON A PROPERLY PREPARED FOUNDATION IN ACCORDANCE WITH WSDOT SPECIFICATIONS. THIS SHALL INCLUDE LEVELING AND COMPACTING THE TRENCH BOTTOM, THE TOP OF THE FOUNDATION MATERIAL, AND ANY REQUIRED PIPE BEDDING, TO A UNIFORM GRADE SO THAT THE ENTIRE PIPE IS SUPPORTED BY A UNIFORMLY DENSE UNYIELDING BASE.
- STEEL PIPE SHALL BE ALUMINIZED, OR GALVANIZED WITH ASPHALT TREATMENT #1 OR BETTER INSIDE AND OUTSIDE.
- ALL DRIVEWAY CULVERTS LOCATED WITHIN CITY RIGHT-OF-WAY SHALL BE OF SUFFICIENT LENGTH TO PROVIDE A MINIMUM 3:1 SLOPE FROM THE EDGE OF THE DRIVEWAY TO THE BOTTOM OF THE DITCH. CULVERTS SHALL HAVE BEVELED END SECTIONS TO MATCH THE SIDE SLOPE.
- ROCK FOR EROSION PROTECTION OF ROADWAY DITCHES, WHERE REQUIRED, MUST BE OF SOUND QUARRY ROCK, PLACED TO A DEPTH OF 1 FOOT, AND MUST MEET THE FOLLOWING SPECIFICATIONS: 4"-8"/40%-70% PASSING; 2"- 4" ROCK/30%-40% PASSING; AND -2" ROCK/10%-20% PASSING. INSTALLATION SHALL BE IN ACCORDANCE WITH KCRDCS.



**1 DOWNSPOUT CONNECTION DETAIL**  
N.T.S.



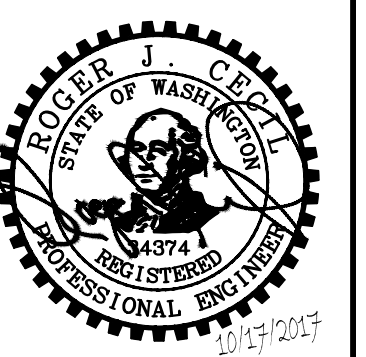
**2 STORM DRAIN CLEANOUT (SDCO) DETAIL**  
N.T.S.



**CALL BEFORE YOU DIG 811**  
UNDERGROUND SERVICE (USA)

No.	Description	Date
1	PERMIT SUBMITTAL	8/25/17
2	PERMIT SUBMITTAL	10/17/17

169-001-17	Project No.	VS	Drawn By	RJC	Designed By	RJC	Approved By	10/17/2017	Date
------------	-------------	----	----------	-----	-------------	-----	-------------	------------	------



**CECIL ASSOCIATES**  
PO BOX 598 BOTHELL, WA 98011  
(206) 484-3495  
www.cecilrassoc.com

CLIENT:  
BABENKO ARCHITECTS, PLLC  
86 SEATTLE BLVD S, STUDIO 206  
SEATTLE, WA 98194

WHITNEY MADISON  
CONTACT

**LR RESIDENCE**  
**STORMWATER CONTROL DETAILS**

**C2.01**